



**CITY OF DANIA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT**

DATE: May 14, 2013

TO: Robert Baldwin, City Manager

VIA: Marc C. LaFerrier, AICP, Director

FROM: Corinne Lajoie, AICP, LEED Green Associate, Principal Planner *CLJ*

SUBJECT: **VA-08-12/SP-40-11:** The applicant, Skyland Plaza is requesting an extension for previously approved variance, site plan and associated design variation approval for the construction of a 2-story mixed use development located at 118 N. Federal Highway.

REQUEST

The application is requesting an extension of the previously approved site plan and associated variance and design variation for the construction of two (2) buildings totaling approximately 11,000 square feet of commercial space and eight (8) residential units.

PROPERTY INFORMATION

ZONING: City Center (CC)
LAND USE DESIGNATION: Regional Activity Center (RAC)
OVER LAY DISTRICT: Community Redevelopment Area (CRA), Principal Arterial Commercial Design Standard Overlay District.

The site plan was approved on March 27, 2012 for the construction of two buildings, both 2-story mixed commercial/residential on the property where the Dairy Belle is currently located. The applicant is proposing to redevelop the site while maintaining the business on the property. The approved site plan included a variance addressing the lack of a landscape island in one row of parking and a design variance to allow no gallery roof, awning or arcade as part of the modified shop frontage.

Since the time of the original approval, the property owner has been working to obtain financing and is very close to submitting for building permits. At this time the applicant is requesting a six (6) month extension of the previously approved plans.

CITY COMMISSION PREVIOUS ACTION

On March 27, 2012 the City Commission approved the variance, site plan and associated design variation with conditions noted in Resolution No. 2012-034 and Resolution No. 2012-035.

STAFF RECOMMENDATION

Approval of the extension request for six months, until September 26, 2013, with conditions identified in the original approval.



City of Dania Beach, Florida
 Department of Community Development
 Planning and Zoning Division
 (954) 924-6805 X3643
 (954) 922-2687 Fax

Standard Development Application

RECEIVED
 MAR 27 2013
Planning Department

- Administrative Variance
- Land Use Amendment
- Plat
- Rezoning
- Site Plan *EXTENSION*
- Special Exception
- Variance
- Other: _____ (SEE APPLICATION TYPE SCHEDULE ON PAGES 3 & 4)

Date Rec'd: _____
 Petition No.: SP-40-11 EXT

THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS. Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

Location Address: 110 NORTH FEDERAL HIGHWAY

Lot(s): _____ Block: _____ Subdivision: _____

Recorded Plat Name: _____

Folio Number(s): 5042-34-01-1670 Legal Description: _____

Applicant/Consultant/Legal Representative (circle one) SKYLAND PLAZA LLC

Address of Applicant: 2734 POLK STREET UNIT F HOLLYWOOD FL. 33020

Business Telephone: _____ Home: _____ Fax: _____

E-mail address: skyb16 @

Name of Property Owner: SKYLAND PLAZA LLC

Address of Property Owner: SEE ABOVE

Business Telephone: 954 905 8510 Home: _____ Fax: _____

Explanation of Request: SITE PLAN APPROVAL EXTENSION
 For **Plats** please provide proposed **Plat Name** for **Variations** please attach **Criteria Statement** as per **Section 625.40 of the Land Development Code.**

Prop. Net Acreage: _____ Gross Acreage: _____ Prop. Square Footage: _____

Existing Use: _____ Proposed Use: _____

Is property owned individually, by a corporation, association, or a joint venture? CORPORATION

AUTHORIZED REPRESENTATIVE

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize _____ (individual/firm) to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

STATE OF FLORIDA
COUNTY OF BROWARD
The foregoing instrument
was acknowledged

By: Gilles Grenier
(Owner / Agent signature*)

BEFORE ME THIS 27 DAY OF MARCH, 20 13

By:

Gilles Grenier
(Print name of person acknowledging)

(Joint owner signature if applicable)

Notary Maria C. Breton
(Signature of Notary Public – State of FLORIDA)



Personally known _____ or Produced Identification X

Type of identification produced: _____ or Drivers License X

***If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).**

NO APPLICATION WILL BE AUTOMATICALLY SCHEDULED FOR A MEETING.

ALL APPLICATIONS MUST BE DETERMINED COMPLETE BY STAFF BEFORE PROCESSING OCCURS.

Lajoie, Corinne

From: IDEA - Jean-Francois Gervais [jfgervais@absolute-idea.com]
Sent: Friday, April 12, 2013 2:40 PM
To: Lajoie, Corinne; gilles@dairybelleicecream.com; IsabelleGrenier
Cc: Francois@dairybelleicecream.com; IDEA - Stéphane L'Écuyer
Subject: 10-594US - Skyland Plaza

Dear Corinne,

We will apply for building permit in April – so please address the extension to the site plan approval consequently.

Best regards,

JFG

From: Lajoie, Corinne [mailto:cchurch@ci.dania-beach.fl.us]
Sent: Friday, April 12, 2013 10:30 AM
To: IDEA - Jean-Francois Gervais; gilles@dairybelleicecream.com; 'IsabelleGrenier'
Cc: Francois@dairybelleicecream.com
Subject: FW: Skyland Plaza

This morning I got a message that the e-mail I sent yesterday did not go through, so I am sending it a second time just to be sure.

In addition, I know that I spoke to Mr. Grenier about the amount of time needed for the extension and was verbally told 6 months. I need some confirmation in writing (e-mail is fine) stating the amount of time needed for the extension.

Thank you

Corinne Lajoie, AICP, LEED Green Associate



From: Lajoie, Corinne
Sent: Thursday, April 11, 2013 4:04 PM
To: 'Francois Grenier'
Cc: gilles@dairybelleicecream.com; 'Isabelle Grenier'
Subject: RE: Skyland Plaza

Please see the attached impact fees. You may also contact Tammie or Janice in the Building department for additional information at 954-924-9805.

Corinne Lajoie, AICP, LEED Green Associate



From: Francois Grenier [<mailto:Francois@dairybelleicecream.com>]
Sent: Thursday, April 11, 2013 8:18 AM
To: Lajoie, Corinne
Cc: gilles@dairybelleicecream.com; 'Isabelle Grenier'
Subject: Skyland Plaza

Good Morning Corinne,

We need to find out what the impact fees will be with our new buildings. To what department or to whom should I talk to, to find out.

Thank you!

Best Regards,

Francois Grenier
Manager / Public Relations
Dairy Belle Ice Cream
www.Dairybelleicecream.com
118 N. Federal Hwy
Dania Beach, FL 33004
Cell: 954-261-4440
Fax: 954-929-4761



One Aventura Executive Center

20900 NE 30TH Ave., suite 914
Aventura, FL 33180
Phone: 305-792-0015
Fax: 350-931-0279

www.absolute-idea.com
ARCH LICENSE NBR: AA26001856
ENG. CA No. 28787

Wednesday March 27th 2013

City of Dania Beach
Department of planning & Zoning
100 W. Dania Beach Blvd,
Dania Beach Florida 33004
C.O. Director of Planning, Corinne Lajoie, AICP, LEED Green Associate

10-594US – Skyland Plaza – Request for Site plan approval extension

Dear Ms. Lajoie

We would like to request an extension to the site plan approval that has been granted to our project of Skyland Plaza, located at 118 Federal Highway in your city of Dania Beach.

The reason of our request is to apply for building permit during April of 2013, so the bulk of the construction is to take place during the summer of 2013, when our volume of activity is typically lower.

Best regards,


Gilles Grenier,

Skyland Plaza LLC

RESOLUTION NO. 2012-034

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA, APPROVING THE REQUEST FOR A VARIANCE (VA-08-12) SUBMITTED BY GILLES GRENIER, REPRESENTING SKYLAND PLAZA, FROM THE DANIA BEACH LAND DEVELOPMENT CODE FOR PROPERTY LOCATED AT 118 NORTH FEDERAL HIGHWAY, DANIA BEACH; PROVIDING FOR CONFLICTS; FURTHER, PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Part 2, Article 275 of the Dania Beach Land Development Code sets the "Landscaping Requirements" in the City of Dania Beach; and

WHEREAS, Part 3 of the Dania Beach Land Development Code (the "Code") sets the development standards for certain "Special Zoning Districts" in the City of Dania Beach; and

WHEREAS, Gilles Grenier, representing Skyland Plaza, is requesting design variations as follows:

- 1) To allow no gallery roof, awning or arcade as part of the modified shop frontage as required by Chapter 28, Section 303-40(N) and 311-20(4) of the Code;
- 2) To allow no landscape island in a row of parking where required by Chapter 28, Section 275-100(C)(1) of the Code,

for property located at 118 North Federal Highway, in the City of Dania Beach; and

WHEREAS, the Community Development staff has reviewed this request and recommends that the City Commission grant approval of the variance request based on the recommendation by the Community Redevelopment Agency (CRA) Director;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA:

Section 1. That that certain application VA-08-12 for the design variations described above from requirements in the Dania Beach Land Development Code , a copy of which application is attached and made a part of this Resolution as Exhibit "A", is approved contingent on the following conditions:

1. Must obtain approval from Broward County School Board prior to issuance of building permit of residential units (Community Development);
2. RIGHT-OF-WAYS: Provide recorded 5' r-o-w dedication as required prior to issuance of a building permit (Community Development);
3. SIGNS: provide copy of master sign program for the development for staff approval prior to issuance of a building permit (Community Development);

4. Revise plans to show location of new west property line (Community Development);
5. Provide "No Parking" signage along the south side of the satellite parking lot (Fire Marshal);
and
6. Must demonstrate adequate water supply for the site (Fire Marshal).

Section 2. That all resolutions or parts of resolutions in conflict with this Resolution are repealed to the extent of such conflict.

Section 3. That this Resolution shall be in full force and take effect immediately upon its passage and adoption.

PASSED AND ADOPTED on March 27, 2012.

ATTEST:

Louise Stilson

LOUISE STILSON, CMC
CITY CLERK

Pat A. Flury

PATRICIA A. FLURY
MAYOR

APPROVED AS TO FORM AND CORRECTNESS:

Thomas J. Ansbro

THOMAS J. ANSBRO
CITY ATTORNEY



RESOLUTION NO. 2012-035

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA, APPROVING THE SITE PLAN REQUEST (SP-40-11) AND ASSOCIATED DESIGN VARIATIONS SUBMITTED BY GILLES GRENIER, REPRESENTING SKYLAND PLAZA, FOR PROPERTY LOCATED AT 118 N FEDERAL HIGHWAY IN THE CITY OF DANIA BEACH, FLORIDA; PROVIDING FOR CONFLICTS; FURTHER, PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Part 6, "Development Review Procedures and Requirements", Article 635 of the City of Dania Beach, Florida Land Development ("Code"), states that approval of a site plan is required prior to the commencement of any development in any zoning district of the City; and

WHEREAS, Part 3, "Special Zoning Districts", Article 301 "Legal and Administrative Provisions", Section 301-50 allows for "Design Variations" associated with site plan and site plan modifications; and

WHEREAS, Gilles Grenier, representing Skyland Plaza, is requesting site plan approval (SP-40-11) for the proposed construction of two (2) buildings totaling approximately 11,000 square feet of commercial space and eight (8) residential units, for property located at 118 N Federal Highway, in the City of Dania Beach; and

WHEREAS, Gilles Grenier is further requesting approval of design variations to allow a "no gallery roof", awning, or arcade as part of the modified shop frontage as required by Chapter 28, Sections 303-40(N) and 311-20(4); and

WHEREAS, Gilles Grenier is further requesting approval of design variations to allow the building setback of three (3) feet, two (2) inches instead of providing 75% of the new construction to be on the site line of the street as required by Chapter 28, Section 303-40 (M);and

WHEREAS, the City Commission conducted a duly noticed public hearing in accordance with Article 610 of the Dania Beach Land Development Code;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA:

Section 1. That that certain application (SP-40-11) for site plan approval and associated design variations, a copy of which is attached and made a part of this Resolution as Exhibit "A", is approved contingent on the following conditions:

1. Must obtain approval from Broward County School Board prior to issuance of building permit of residential units (Community Development);

2. RIGHT-OF-WAYS: Provide recorded 5' r-o-w dedication as required prior to issuance of a building permit (Community Development);
3. SIGNS: provide copy of master sign program for the development for staff approval prior to issuance of a building permit (Community Development);
4. Revise plans to show location of new west property line (Community Development);
5. Provide "No Parking" signage along the south side of the satellite parking lot (Fire Marshal); and
6. Must demonstrate adequate water supply for the site (Fire Marshal).

It is further noted that the original site plan is maintained in the office of the Community Development Department of the City of Dania Beach.

Section 2. That based upon the criteria set forth in Section 635 of the Dania Beach Land Development Code, all site plan approvals shall automatically expire and become null and void unless the applicant files a complete building permit application with construction drawings for all improvements shown on the site plan within 12 months from the date of this Resolution, obtains a building permit (including payment of all fees) for all such improvements within eighteen (18) months of this Resolution and that the permits remain valid until a certificate of occupancy or its equivalent is issued for the improvements.

Section 3. That all resolutions or parts of resolutions in conflict with this Resolution are repealed to the extent of such conflict.

Section 4. That this Resolution shall be in force and take effect immediately upon its passage and adoption.

PASSED AND ADOPTED on March 27, 2012.

ATTEST:

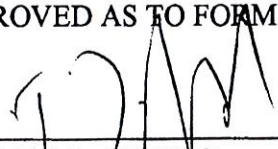


 LOUISE STILSON, CMC
 CITY CLERK



 PATRICIA A. FLURY
 MAYOR

APPROVED AS TO FORM AND CORRECTNESS:



 THOMAS J. ANSBRO
 CITY ATTORNEY



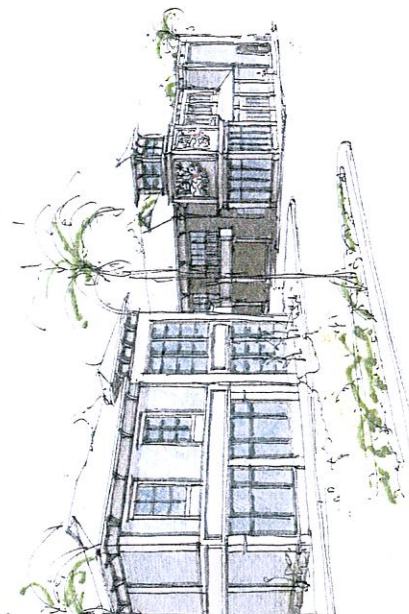
SKYLAND PLAZA

118 N. Federal Highway, Dania Beach, FL 33004
 10-594US
 01-23-2012

Issued for PLANNING & ZONING

Drawing index:

COVER	PROJECT TITLE & DRAWING LIST	NAME	ISSUED:	REV. 1	REV. 2
SP-1	ZONING INFORMATION AND PROJECT DATA		09-25-2012	08-07-2012	02-29-2012
SP-2	ORIGINAL SURVEY	SURVEY	✓	✓	✓
SP-3	SITE PLAN - ROOF PLAN	SITE PLAN	✓	✓	✓
C-1	SITE PLAN - GROUND FLOOR PLAN	SITE PLAN	✓	✓	✓
C-2	WATER, SEWER, PAVING AND DRAINAGE	CIVIL PLAN	✓	✓	✓
C-3	PAVEMENT MARKINGS AND SIGNAGE	CIVIL PLAN	✓	✓	✓
L-1	CIVIL ENGINEERING DETAILS	CIVIL PLAN	✓	✓	✓
L-2	LANDSCAPE PLAN	LANDSCAPE PLAN	✓	✓	✓
L-3	EXISTING TREE DISPOSITION PLAN	LANDSCAPE PLAN	✓	✓	✓
SP-4	GROUND FLOOR PLANS	LANDSCAPE PLAN	✓	✓	✓
SP-5	SECOND FLOOR PLANS	FLOOR PLANS	✓	✓	✓
SP-6	BUILDING A ELEVATIONS	ELEVATIONS	✓	✓	✓
SP-7	BUILDING B ELEVATIONS AND CROSS SECTION	ELEVATIONS	✓	✓	✓
SP-8	CROSS AND LONGITUDINAL SECTIONS	ELEVATIONS	✓	✓	✓
SP-9	COLOR ELEVATIONS	COLOR DRAWINGS	✓	✓	✓
SP-10	COLOR PERSPECTIVES	COLOR DRAWINGS	✓	✓	✓
SP-11	PHOTOMETRIC PLAN	LIGHTING PLAN	✓	✓	✓
SP-12	EXTERIOR LIGHTING FIXTURES DETAILS	LIGHTING PLAN	✓	✓	✓
SP-13	EXTERIOR LIGHTING FIXTURES DETAILS	LIGHTING PLAN	✓	✓	✓
SP-14	DETAILS	DETAILS	✓	✓	✓
ADDITIONAL DOCUMENTS:					
	FIRE FLOW REQUIREMENT FOR BUILDINGS	WATER SUPPLY	✓	✓	✓
	WATER SUPPLY - HYDRANT FLOW TEST	WATER SUPPLY	✓	✓	✓
	CD ZIP FILE CONTAINING ALL SHEETS	CD ZIP FILE	✓	✓	✓
	RESPONSE NARRATIVE TO MOBILITY PROGRAM	MOBILITY PROGRAM	✓	✓	✓
	CRITERIA STATEMENT FOR VARIANCE	CRITERIA STATEMENT	✓	✓	✓
	RESPONSE NARRATIVE TO SITE PLAN REVIEW COMMENTS	RESPONSE NARRATIVE	✓	✓	✓
	PDOT PRE-APPLICATION LETTER	PDOT LETTER	✓	✓	✓
	LETTER FOR VARIATIONS IN DESIGN	VARIATION IN DESIGN	✓	✓	✓



PERSPECTIVE FROM FEDERAL HIGHWAY

RECEIVED
 FEB 22 2012
 Planning Department

International

a

architecture
 International Design Engineering & Architecture
 One Aventura Executive Center
 20900 NE 30th Ave, Suite 914
 Aventura, FL 33180
 Tel: 305.792.00153
 info@absolute-idea.com
 www.absolute-idea.com

GLOBE ENGINEERING INC.
 WWW.CIVIL-ENGINEER.US

4839 SW 148 Avenue, Suite 507
 Fort Lauderdale, FL 33330
 Ph: 954-316-7628
 FBPE CAF 8604

MarkTinkler
 LANDSCAPE ARCHITECTURE
 EST. 1971

Land Planning, Landscape Architecture
 d. 305.965.3183
 f. 305.759.0182
 w. www.tinklerinc.com



a

1 AERIAL IMAGES



2 GENERAL SITE INFORMATION

LOT SIZE	PARCEL 1: 27,869.0 SQ. FT. PARCEL 2: 5,427.0 SQ. FT. (TOTAL PARCEL 1 AND 2: 33,296.0 SQ. FT.)
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DESCRIPTION	VALUE	REQUIRED	PROVIDED
ZONING	CC (CITY CENTER DISTRICT - MIXED USE) PROPERTY IS OUTSIDE CITY CENTER CORE		
DENSITY	MAX. 50 UNITS/ACRE BY HEIGHT AND DENSITY BONUS (SEE ARTICLE 300)	1 (0.77/ACR) - 30	0
F.A.C.	MAX. 8.0' F.A.C. MEANS THE GROSS FLOOR AREA OF ALL BUILDINGS (GFA) EXPRESSED IN SQUARE FEET, DIVIDED BY THE NET LOT AREA EXPRESSED IN SQUARE FEET.	(8.0) x 33,316.5 = 266,652 8.0 MAX	13,959 / 33,316.5 = 0.42
MIN. REQ'D PERVIOUS, LANDSCAPED LOT AREA	10% MAY BE REDUCED TO 0% WITH INCENTIVE BONUS (SEE ARTICLE 300). SEC. 300.30(E)(4) PROVIDES FOR PAYMENT IN-LIEU.	10% 3,331.65 SF	18% 6,000 SF
MIN. REQ'D VIA LANDSCAPING	VIA LANDSCAPE AREA SHALL NOT BE LESS THAN 20% OF THE TOTAL VEHICLE USABLE AREA.	20% 6,663.3 SF	32% 10,863 SF
MINIMUM LIVING AREAS	(ONE BEDROOM: 750 SQ. FT. TWO BEDROOM: 800 SQ. FT. THREE BEDROOM: 1,150 SQ. FT. OR MORE: 1,400 SQ. FT. PLUS 80 SQ. FT. FOR EACH ADDITIONAL BEDROOM. EFFICIENCY OR STUDIO APARTMENTS (NO BEDROOMS): 500 SQ. FT.		
OUTDOOR SEATING AREA	OUTDOOR RESTAURANT SEATING IS PERMITTED AS AN ACCESSORY USE TO AN INDOOR RESTAURANT CONTAINING AT LEAST FIVE HUNDRED (500) SQUARE FEET OF GROSS FLOOR AREA, OUTDOOR SEATING REQUIRES ITS OWN CERTIFICATE OF USE.		

3 SETBACKS

DESCRIPTION	VALUE
FRONT	5' SIDE 5' SIDE DOORWAY: 8' 12" BALCONY OVER PARKING: 8' 12"
INTERIOR SIDE 1ST LAYER	0' MIN.
INTERIOR SIDE 2ND LAYER	0' MIN.
REAR	10' MIN.

4 BUILDING FRONTAGE STANDARDS

DESCRIPTION	VALUE	REQUIRED	PROVIDED
LINEAR	50 FT. MIN. DEPTH SIDEWALK LAYER	30 FT. MIN.	30 FT.
FAÇADE ON BIL.	70% OF LOT WIDTH FOR WHICH A FAÇADE MUST BE ON THE BIL.	100 FT.	100 FT.
FAÇADE RECESS	10 FT. MAX. ALLOWABLE RECESS FROM BIL. (BIL = BUILD TO LINE)	NA	NA

5 HEIGHT RESTRICTIONS

DESCRIPTION	VALUE	ORDINANCE
HEIGHT	(7) STORIES, (8) FT BY RIGHT BUT VARIES BY LOCATION SINCE THE LOT IS AFFECTED BY TWO DIFFERENT HEIGHT RESTRICTIONS, THE FOLLOWING SHALL APPLY: 1. WESTERN PORTION OF THE LOT IS ALLOWED (7) STORIES, (8) FT BY RIGHT AND UP TO AN ADDITIONAL (7) STORIES, (8) FT WITH INCENTIVES. 2. WHERE A STREET CENTERLINE FORMS THE BOUNDARY BETWEEN A NEIGHBORHOOD RESIDENTIAL DISTRICT AND A MIXED-USE DISTRICT, THE FOLLOWING STANDARDS SHALL APPLY TO ANY LOT WITHIN THE MIXED-USE DISTRICT THAT ADJUTS THE BOUNDARY STREET: a. BUILDINGS TYPE MUST BE LIMITED TO RESIDENTIAL OR MIXED-USE BUILDINGS. b. THE HEIGHT OF THE BUILDING SHALL BE EXACTLY (2) STORIES NOT TO EXCEED (20) FT IN HEIGHT FOR THE FIRST (8) FT MEASURED FROM THE BIL. c. STORIES OR (20) FT OF BLDG. HEIGHT IS PERMITTED, AND PERMITTED HEIGHT SHALL INCREASE BY (1) FT FOR EACH ADDITIONAL ONE (1) FT OF HORIZONTAL DISTANCE MEASURED PERPENDICULAR FROM THE BIL.	SEC. 300.40 (C) OR SEC. 300.40 (D) HEIGHT ZONES MAP SEC. 304.20 (C)

6 PARKING DATA

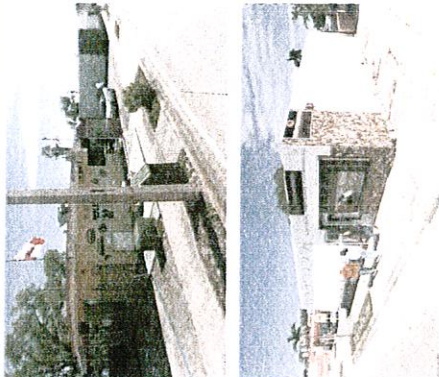
DESCRIPTION	VALUE	ORDINANCE	REQUIRED	PROVIDED
(#8) MULTI-FAMILY DWELLING	EFFICIENCY: 1 / 0.11 ONE BEDROOM: 1.25 / 0.11 TWO OR MORE: 1.75 / 0.11 MORE THAN 10 UNITS, THEN 1 PER 0 UNITS MARKED AS GUEST PARKING (G.U. - DRELLING UNIT)	PAR. 2, ARTICLE 220-20 SEC. 265-20	(6 D.U.) (20) = 75 SPACES (2 D.U.) (70) = 35 SPACES 11 PKNG. SPACES	11 PKNG. SPACES
(#19) RESTAURANT, FAST FOOD	(1) SPACE FOR 60 SF OF GSA (CUSTOMER SERVICE AREA) PLUS (1) PER 300 SF OF REMAINING GFA AND OUTDOOR SEATING AREA	620 / 60 = 10.33 2,249 / 300 = 7.49 19 PKNG. SPACES	19 PKNG. SPACES	19 PKNG. SPACES
(#21) RETAIL UNDER 40,000 SF OF GFA	(1) PER 300 SF	4,600 / 300 = 15.33 19 PKNG. SPACES	19 PKNG. SPACES	19 PKNG. SPACES
LOADING	4,000 SQ. FT. - 25,000 SQ. FT. - 11 LOADING SPACES 10,000 SQ. FT. - 2 LOADING SPACES 40,000 SQ. FT. - 4 LOADING SPACES	PAR. 2, ARTICLE 220-20 SEC. 270-20	11 LOADING SPACES	11 LOADING SPACES

CUSTOMER SERVICE AREA: AN AREA DEVOTED TO A BUS (CABER LOBBY, WAITING AREA, FOOD OR BEVERAGE SERVICE OR CONSUMPTION, SELF-SERVICE TERMINALS OR FORM STATIONS, INFORMATION KIOSK OR COUNTER, CUSTOMER SERVICE COUNTERS, AND OTHER EQUIPMENT NOT OTHERWISE CLASSIFIED AS OFFICE, AND OTHER SIMILAR AREAS DEVOTED TO INTERACT WITH CUSTOMERS AND EMPLOYEES, TERMINALS OR MACHINES INTENDED TO SERVE THE WALK-IN CUSTOMER.

7 PARKING DATA (CONTD.)

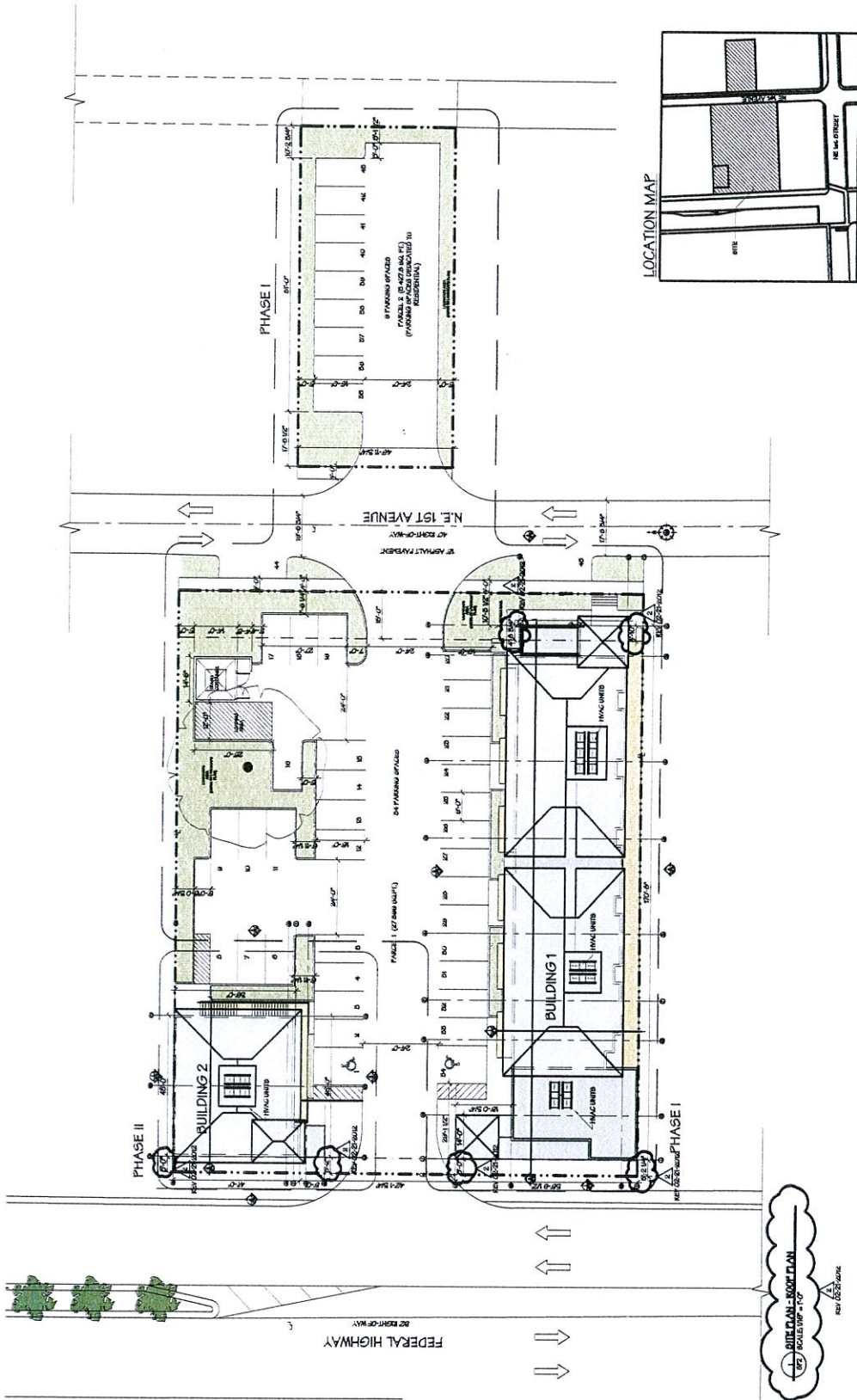
DESCRIPTION	VALUE	ORDINANCE
STALL DIMENSIONS	9' 0" WIDE X 18' 0" LONG (90 DEGREE PARKING ANGLE)	SEC. 265-20
ASILE DIMENSIONS	24' 0" WIDE (90 DEGREE PARKING ANGLE)	SEC. 265-10
LOADING	12' 0" WIDE, 25'-0" LONG WITH A 14' FOOT VERTICAL CLEARANCE	SEC. 270-10
ADA	12' 0" x 20' 0" W/ 60" ASILE	
STACKING	MUST AVOID USE PARKING STALLS IN DRIVEWAY, A MINIMUM STACKING AREA OF 25 FT. IS REQUIRED BETWEEN THE PROPERTY LINE AND THE ENTRANCE TO THE FIRST STALL.	SEC. 265-10 (C)(6)

8 SITE PHOTOGRAPHS (EXISTING)



9 DISCLAIMER

ALL INFORMATION HAS BEEN OBTAINED FROM THE FOLLOWING SOURCES:
1. CITY OF DANIA BEACH, FL. LAND DEVELOPMENT CODE
2. CITY OF DANIA BEACH, FL. CODE OF ORDINANCES



LOCATION MAP



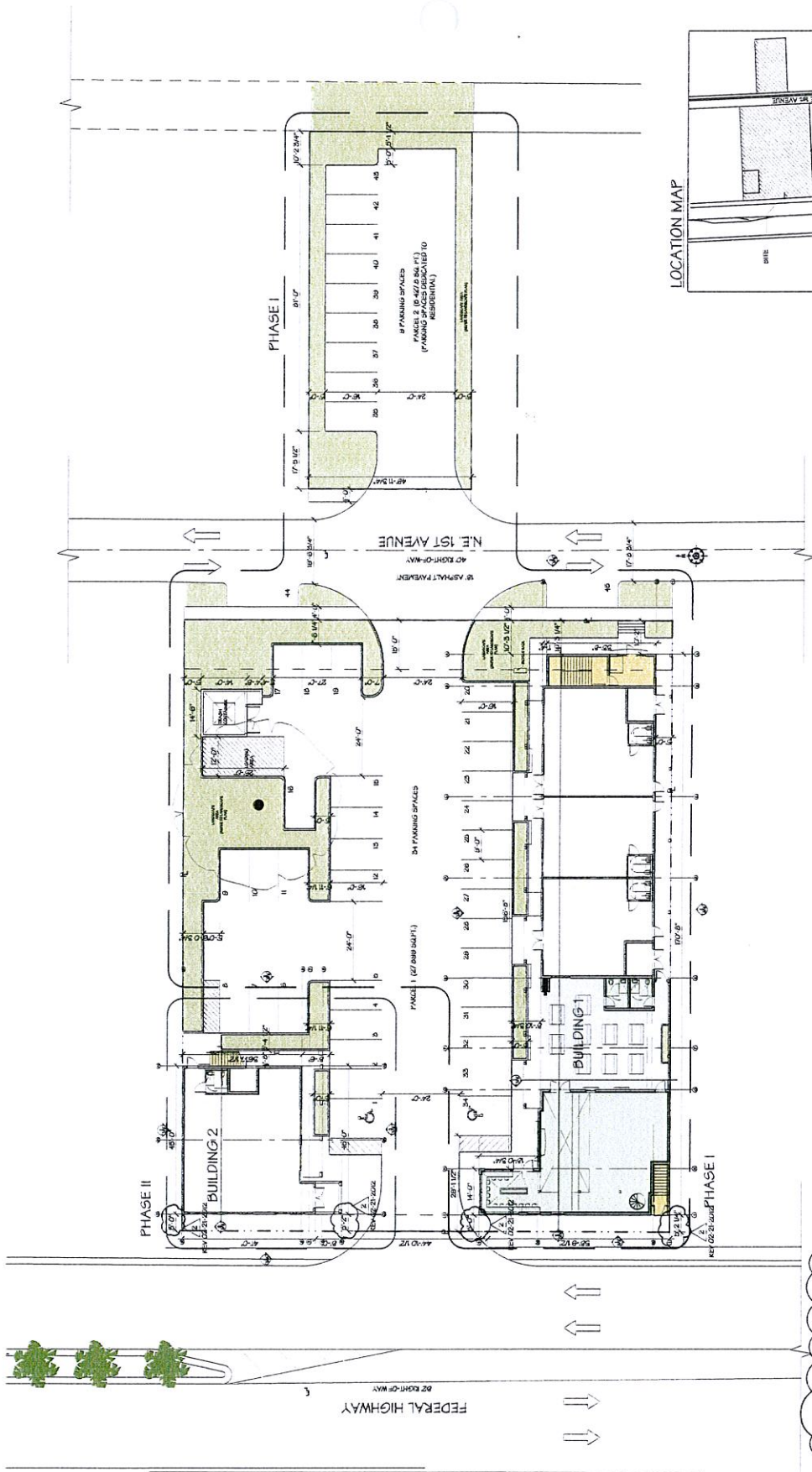
SKYLAND PLAZA
 118 N. Federal Highway, Danis Beach, FL 33004 10-594JUS

Scale: 1/16" = 1'-0" Date: 01-23-2012

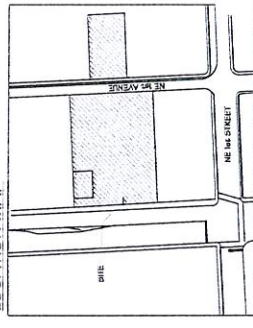
SHEET PLAN
 Site plan - Roof plan

www.danielmanfred.com

Sheet: SP2



LOCATION MAP



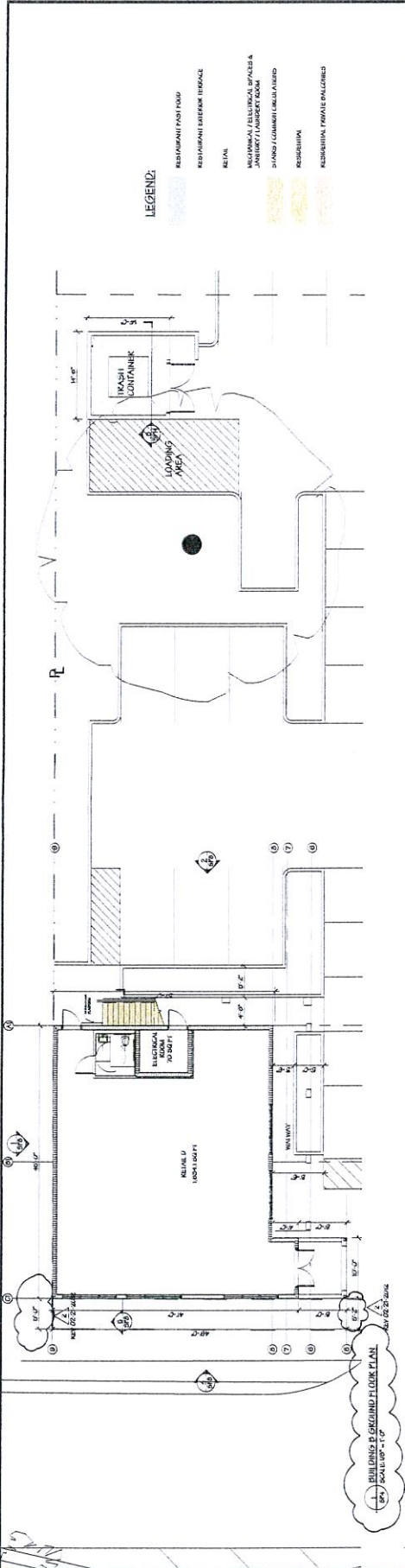
SITE PLAN - GROUND FLOOR PLAN
 1/16" = 1'-0"

a SKYLAND PLAZA
 118 N. Federal Highway, Dania Beach, FL 33004 10-594UJ5

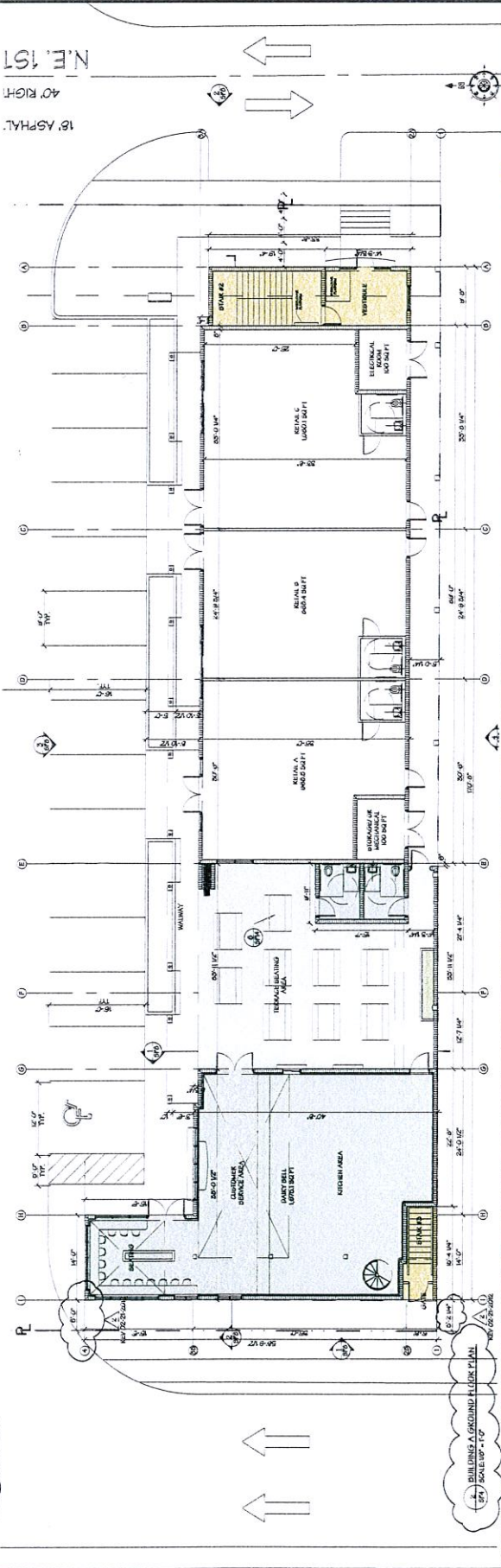
ABSOLUTE IDEAS
 1000 N.W. 30th Ave, Suite 604
 Ft. Lauderdale, FL 33309
 Tel: (305) 555-0011
 Fax: (305) 555-0011
 WWW.ABSOLUTEIDEAS.COM

Scale: 1/16" = 1'-0" Date: 01-23-2012

Sheet: SP3



BUILDING B GROUND FLOOR PLAN
 1/8" = 1'-0"



BUILDING A GROUND FLOOR PLAN
 1/8" = 1'-0"

SKYLAND PLAZA
 116 N. Federal Highway, Dania Beach, FL 33004 10-594US

FLOOR PLANS
 Ground floor plans

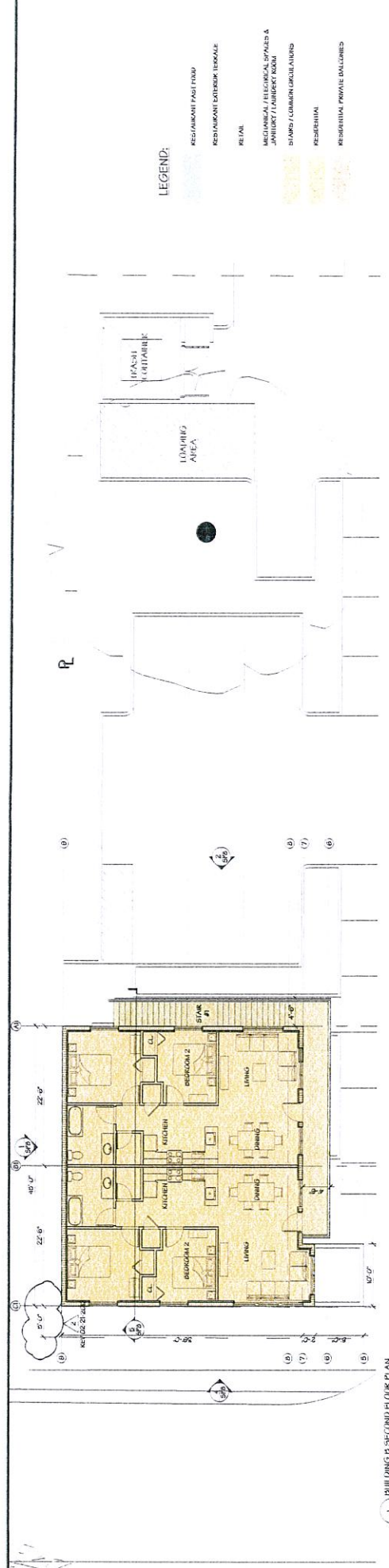
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Sheet: SP4

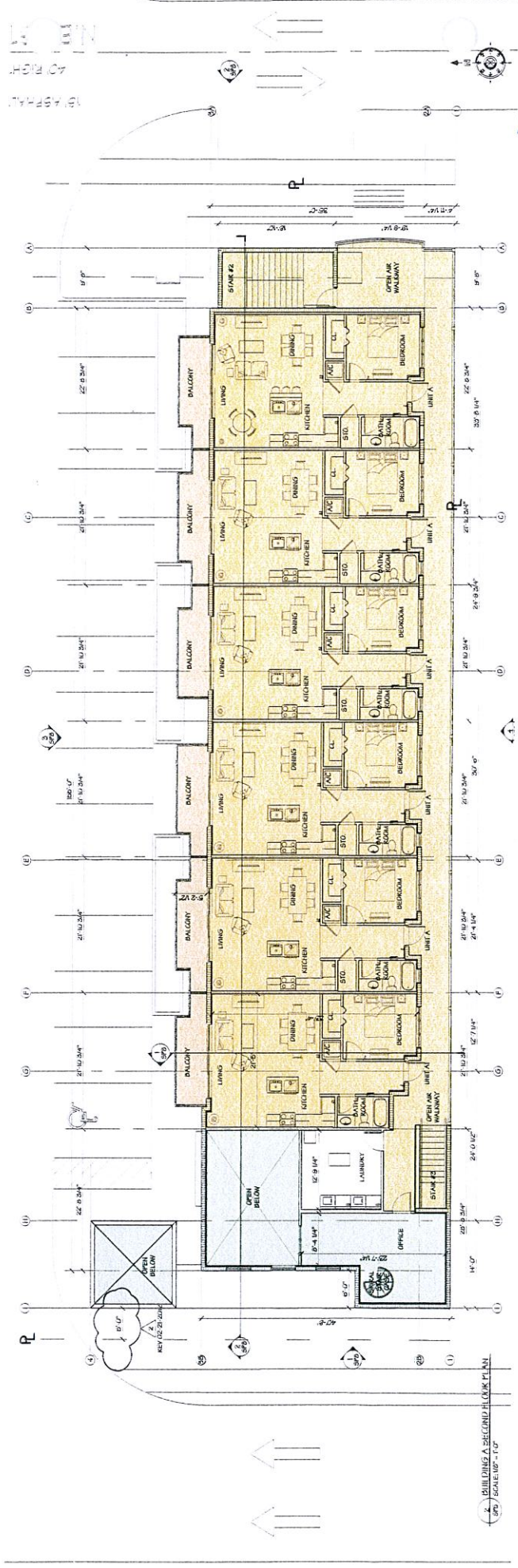
www.aboutedpa.com

LEGEND:

- RESTAURANT FAST FOOD
- RESTAURANT OUTDOOR TERRACE
- RETAIL
- MECHANICAL / RECREATIONAL SPACES & JANITORY / LAUNDRY ROOM
- STAIRS / ELEVATOR SHAFTS
- RESIDENTIAL
- RESIDENTIAL PRIVATE BALCONIES



BUILDING P SECOND FLOOR PLAN
 1/8" = 1'-0"



BUILDING A SECOND FLOOR PLAN
 1/8" = 1'-0"

Absolute Design Group, Inc.
 10000 W. Federal Highway, Suite 100
 Fort Lauderdale, FL 33304
 www.absolute-design.com

Skyland Plaza

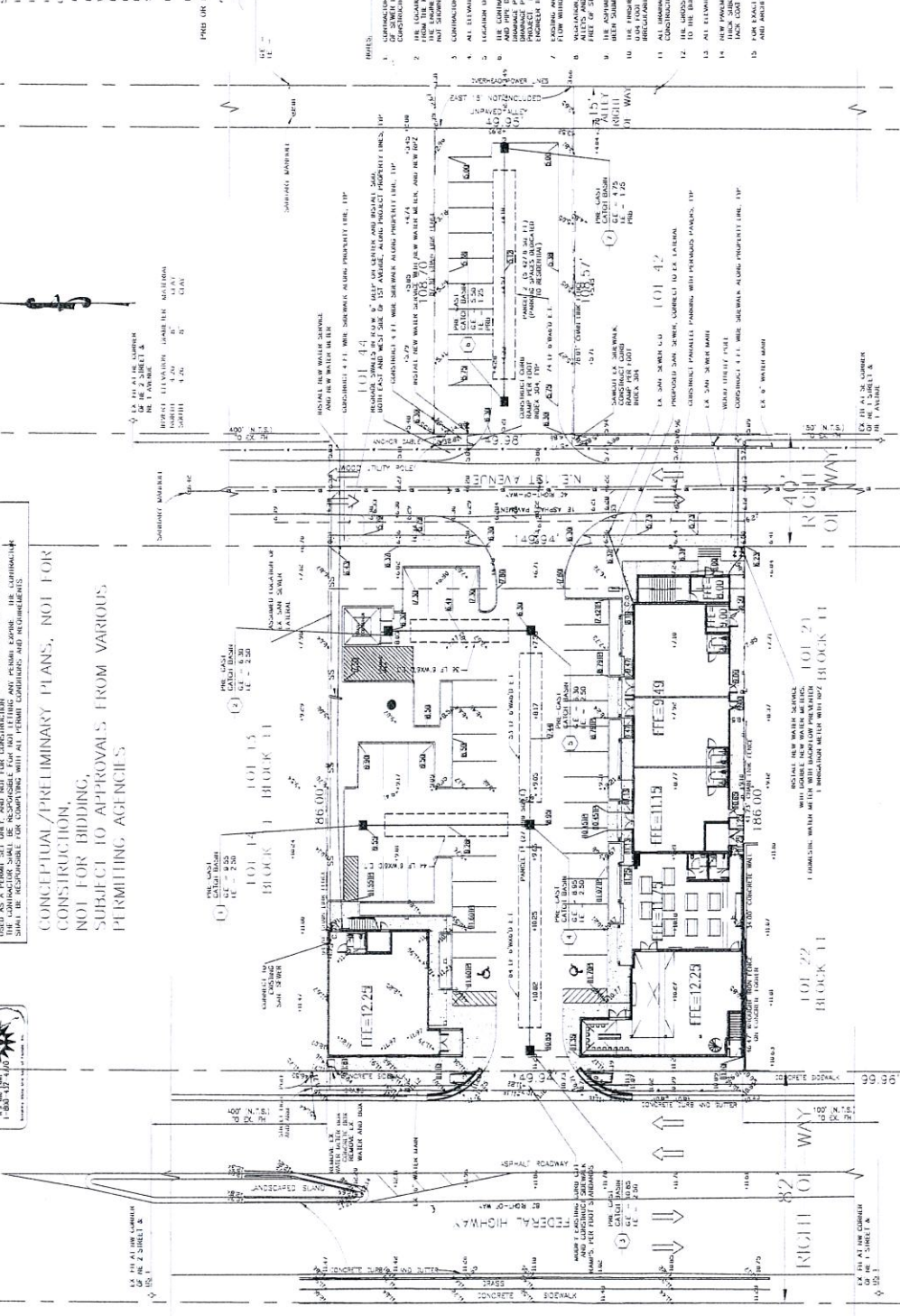
FLOOR PLANS
 Second floor plans

SKYLAND PLAZA
 118 N. Federal Highway, Dania Beach, FL 33004 10-594US

Scale: 1/8" = 1'-0" Date: 01-23-2012
 Sheet: SP5

IF ALL OF THE ABOVE INFORMATION HAS NOT BEEN PROVIDED, THIS SET OF DRAWINGS SHOULD BE CONSIDERED PRELIMINARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

CONCEPTUAL/PRELIMINARY PLANS, NOT FOR CONSTRUCTION, NOT FOR BIDDING, SUBJECT TO APPROVALS FROM VARIOUS PERMITTING AGENCIES.

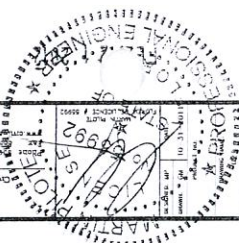


LEGEND:
 E.L. EXISTING ELEVATION
 M.H. MANHOLE
 E.A. OR EXIST. EXTERIOR FINISH
 S.F. SIDEWALK FINISH
 T.O.P. OF CURB/TOP OF CURB
 T.O.P. OF PAVEMENT
 T.O.P. OF PIPE
 C.O. CLEAR O.C. (41' C.O. TO 10' 2" MAX. C.O.)
 P.O.W. ELEVATION
 H.M. ELEVATION
 W. WALL
 E.E. EXISTING ELEVATION
 S.D. STORM DRAINAGE
 H.P.E. HIGH DENSITY POLYETHYLENE PIPE (SMALL WALL)
 P.P.P. PROPOSED
 P.R. PROPOSED RELIEF BATTER(S)
 E.E. EXISTING ELEVATION
 P.P. PROPOSED PAVEMENT
 M.H. MANHOLE

SKYLAND PLAZA
 177 FEDERAL HIGHWAY
 BEACH, FLORIDA

Water, Sewer, Paving and Drainage
 Engineering - Planning - Construction Management
 Globe Engineering, Inc.
 4639 S. 14th Avenue
 Fort Lauderdale, FL 33309

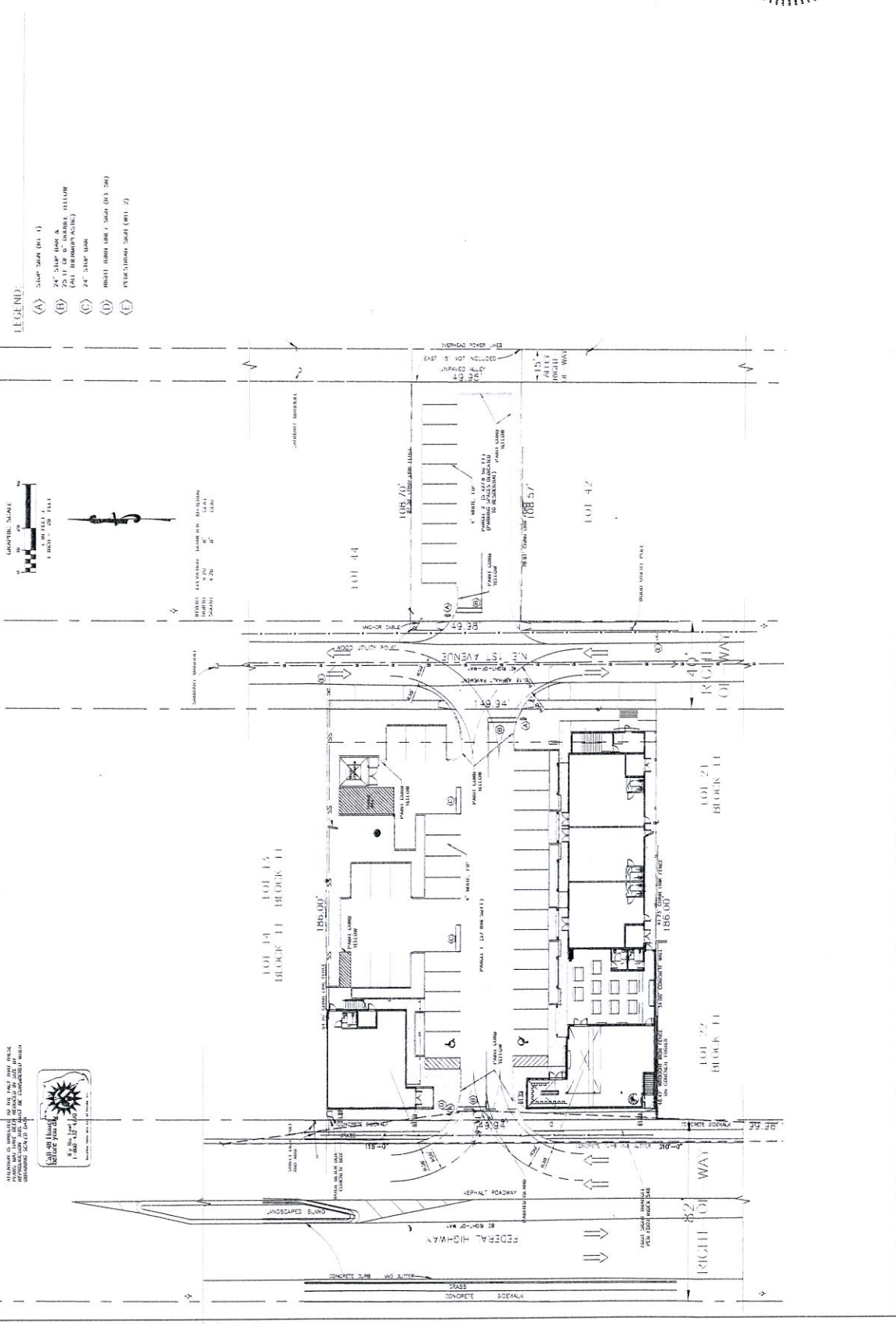
CERTIFICATE OF ACHIEVEMENT NO. 8692
 LICENSE NO. 8692
 MARTIN BLOTT
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA



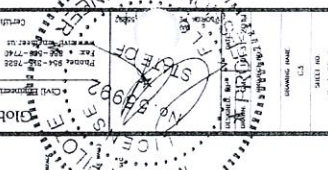
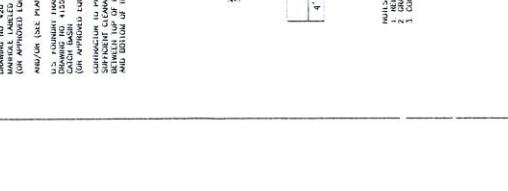
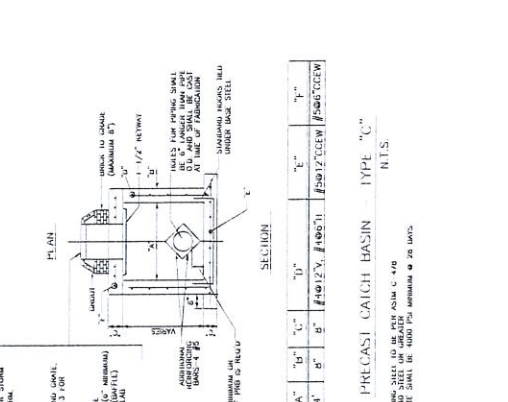
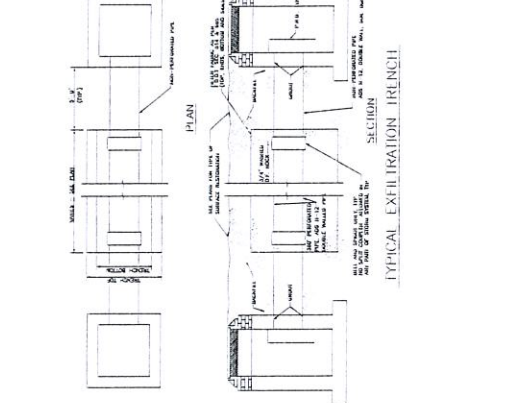
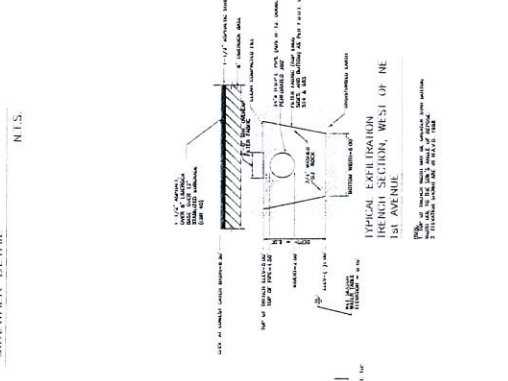
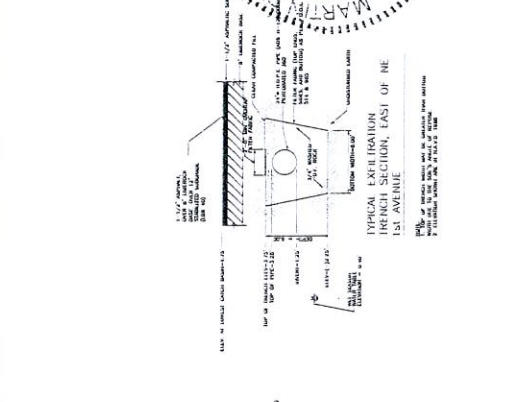
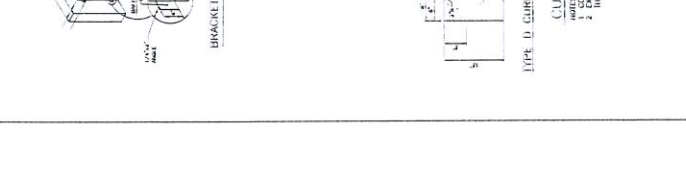
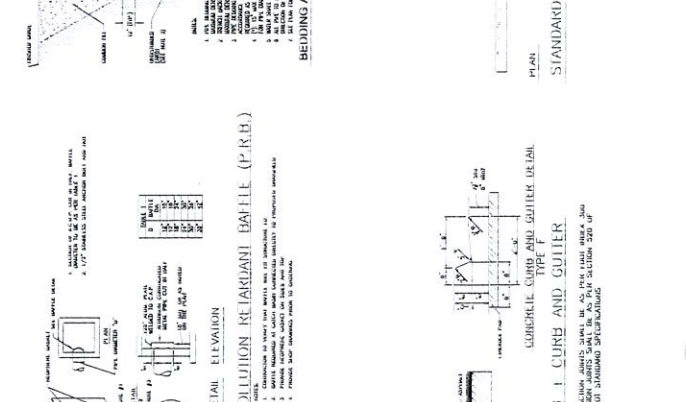
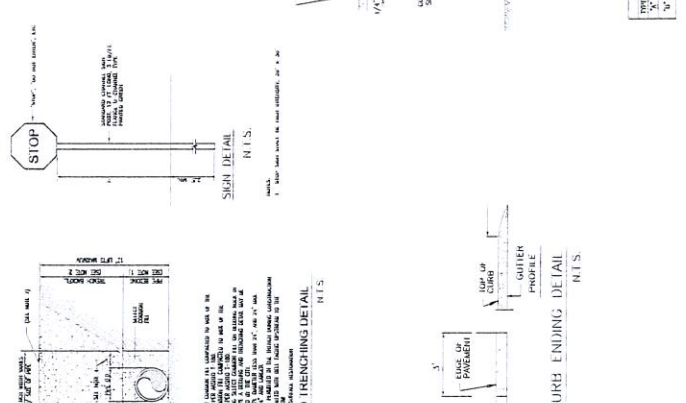
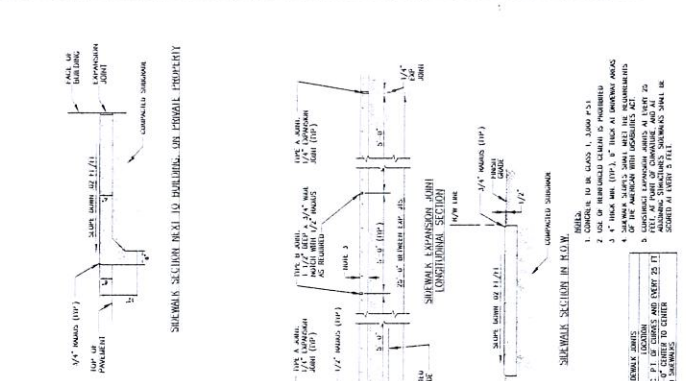
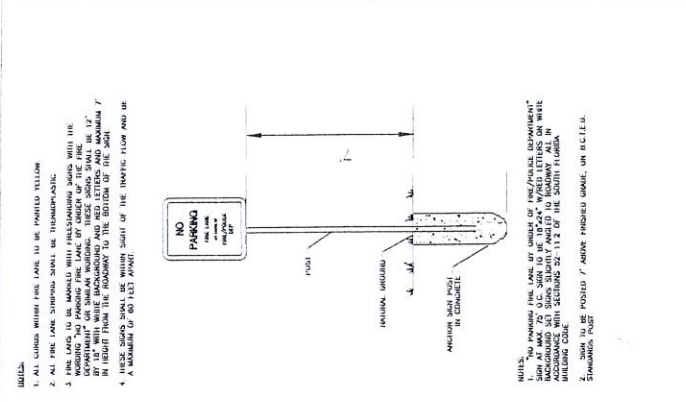
Globe Engineering, Inc.
 4025 S. 146 AVENUE
 SUITE 200
 MIAMI, FLORIDA 33155
 TEL: 305-556-7100
 FAX: 305-556-7101
 E-MAIL: GLOBE@GLOBE-FL.COM
 WWW.GLOBE-FL.COM
 LICENSE NO. 9992
 EXPIRES 12/31/2012
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 CATEGORY: CIVIL ENGINEERING
 CERTIFICATE OF ADOPTION No. 6004
 FOR LANDSCAPE ARCHITECTURE
 DATE: 01/01/2011

SKYLAND PLAZA
 118 N. FEDERAL HIGHWAY
 DANIA BEACH, FLORIDA
 PAVEMENT MARKINGS AND SIGNAGE

NO.	DATE	REVISION
1	01-24-11	ISSUE FOR PERMITS
2	01-24-11	ISSUE FOR PERMITS



THESE MARKINGS AND SIGNAGE ARE TO BE INSTALLED AS SHOWN ON THIS PLAN. ANY CHANGES TO THE MARKINGS AND SIGNAGE SHALL BE APPROVED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.





SKYLAND PLAZA
 118 N. Federal Highway, Dania Beach, FL 33004 10-594JUS

COLOR DRAWINGS
 Color elevations



20077 AVENUE N, SUITE 114
 TALLAHASSEE, FL 32310
 WWW.ABSOLUTEIDEA.COM

Scale: 3/16" = 1'-0" Date: 01-23-2012

Sheet: SP9



SKYLAND PLAZA
118 N. Federal Highway, Dania Beach, FL 33004 10-594JS

COLOR DRAWINGS
Color perspectives



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14, 1001 N. Federal Ave.
Fort Lauderdale, FL 33304
WWW.ABSOLUTEIDEA.COM

Scale: N.T.S.

Date: 01-23-2012

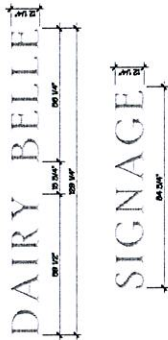
Sheet: SP10



BUILDING IDENTIFICATION WALL SIGN NOTES:
 1. BUILDING IDENTIFICATION WALL SIGN SHALL RESPECT SECTION 606-80-C.
 2. SIGN SHALL BE MOUNTED TO THE BUILDING FACADE.
 3. COLORS OF SIGN: BLACK, WHITE AND BLUE.

BUILDING IDENTIFICATION WALL SIGN
 (AS PER SECTION 606-80-C)

SIGNAGE INSTALLATION NOTES:
 1. STUD MOUNTING FOR ALL LETTERS CONSISTS OF DRILLING HOLES IN THE BUILDING FACADE, FILING WITH 100% FINE SALICONE AND SLIDING IN THE LETTER STUD MOUNTS.
 2. LETTERS ARE TO BE OF ALUMINUM.
 3. LETTERS WILL BE OFFSET FROM THE BUILDING FACADE APPROXIMATELY 2 INCHES BY AN ACRYLIC SPACER.



VERTICAL SIGNAGE DETAIL
 (AS PER SECTION 606-80-C)

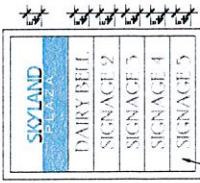
CALCULATIONS FOR DIMENSIONS OF SIGNAGE PER OCCUPANT AS PER SECTION 606-80-C:
 1. 90 FOOT OF SIGNAGE ALLOWED FOR 1 LINEAR FOOT OF FRONTAGE.

OCCUPANT	ALLOWED	PROVIDED
DAIRY BELL (BUILDING 1)	106 SQ FT	43 SQ FT (FOR WORKING)
DAIRY BELL (BUILDING 2)	30 SQ FT	90 SQ FT (FOR COWS)
RETAIL C (BUILDING 1)	24.6 SQ FT	22 SQ FT
RETAIL C (BUILDING 2)	33 SQ FT	22 SQ FT
RETAIL D (BUILDING 2)	106 SQ FT	79 SQ FT

6-FOOT PICNIC TABLES:
 The tables are 6-foot long tables with a height of 30 inches. They are made of high-density polyethylene with a weather-resistant epoxy top and low maintenance. Lifetime picnic tables have a solid, resistant powder-coated steel frame that holds the table together.

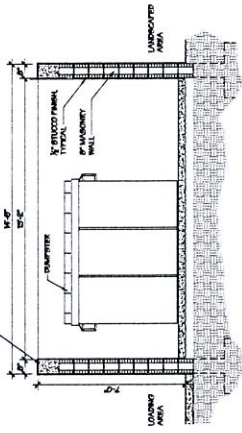
- Superior Strength and Durability
- Fits 100 lbs. of Storage
- Will Not Crack, Chip, Peel or Fry
- 72" x 30" Polyethylene Tabletop
- Steel Frame with 4x4 Weather-Resistant Powder-Coated Steel Legs
- 2-Year Limited Warranty

OUTDOOR PICNIC TABLE DETAIL
 (AS PER SECTION 606-80-C)



BUILDING IDENTIFICATION WALL SIGN NOTES:
 1. BUILDING IDENTIFICATION WALL SIGN SHALL RESPECT SECTION 606-80-C.
 2. SIGN SHALL BE MOUNTED TO THE BUILDING FACADE.
 3. COLORS OF SIGN: BLACK, WHITE AND BLUE.

BUILDING IDENTIFICATION WALL SIGN
 (AS PER SECTION 606-80-C)



DUMPSTER WALL DETAIL
 (AS PER SECTION 606-80-C)



7-FOOT PICNIC TABLE
 COLOR: WHITE
 Web site: <http://www.lifetime.com/lifetime/picnic-tables/6-foot-picnic-table>

6-FOOT PICNIC TABLES:
 The tables are 6-foot long tables with a height of 30 inches. They are made of high-density polyethylene with a weather-resistant epoxy top and low maintenance. Lifetime picnic tables have a solid, resistant powder-coated steel frame that holds the table together.

- Superior Strength and Durability
- Fits 100 lbs. of Storage
- Will Not Crack, Chip, Peel or Fry
- 72" x 30" Polyethylene Tabletop
- Steel Frame with 4x4 Weather-Resistant Powder-Coated Steel Legs
- 2-Year Limited Warranty

OUTDOOR PICNIC TABLE DETAIL
 (AS PER SECTION 606-80-C)



SUPERGRAPHIC SIGN NOTES:
 (AS PER SECTION 606-80-F)
 1. THE COW IS MADE OF 1\"/>

SUPERGRAPHIC SIGN
 (AS PER SECTION 606-80-F)



BIKE RACK MODEL 7271060 OR ITS EQUAL
 MATERIAL: GALVANNEAL COATED STEEL
 DIMENSIONS: 62 1/2\"/>

BIKE RACK
 (AS PER SECTION 606-80-F)

NOTE:
 FOR LIGHTING FIXTURES (SHEETS 912 & 913) AND PICK-UP TABLE (SHEET 914) REFER TO DRAWING NOTES OR OTHER SHEETS OR EQUAL.

**VA-08-12 & SP-40-11
NOTICE OF PUBLIC HEARING
CITY OF DANIA BEACH**

NOTICE IS HEREBY GIVEN that a public hearing will be held before the City Commission, on Tuesday, May 14, 2013, or as soon thereafter as possible in the Dania Beach City Commission Room, Administrative Center, 100 West Dania Beach Blvd., Dania Beach, Florida 33004, for the purpose of hearing any comments which might be made to the following request.

The applicant, Skyland Plaza is requesting an extension for previously approved variance, site plan and associated design variation approval for the construction of a 2-story mixed use development located at 118 N. Federal Highway.

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DANIA BEACH, FLORIDA, APPROVING THE REQUEST MADE BY GILLES GRENIER, ON BEHALF OF SKYLAND PLAZA, LLC, FOR AN EXTENSION TO THE VARIANCE (VA-08-12) APPROVED BY RESOLUTION NO. 2012-034, AND SITE PLAN WITH ASSOCIATED DESIGN VARIATION (SP-40-11), APPROVED BY RESOLUTION NO. 2012-035 ON MARCH 27, 2012, FOR PROPERTY LOCATED AT 118 N. FEDERAL HIGHWAY IN THE CITY OF DANIA BEACH, FLORIDA, PROVIDING FOR CONFLICTS; FURTHER, PROVIDING FOR AN EFFECTIVE DATE.

VA-08-12 - To allow no landscape island in a row of parking where required by Chapter 28, Section 275-100(C)(1).

To allow no gallery roof, awning or arcade as part of the modified shop frontage as required by Chapter 28, Section 303-40(N) and 311-20(4).

SP-40-11 - To approve site plan for the construction of two (2) buildings totaling approximately 11,000 square feet of commercial space and eight (8) residential units.

Property is legally described as Lots 15, 16, 17, 18, 19 and 2, less the west 24 feet of said lots 15, 18 and 19, Block 11, of TOWN OF MODELLO, a subdivision as recorded in plat book B, Page 49, of the Public Records of Miami-Dade County, Florida; said lands situate, lying and being in the Town of Dania Beach, Broward County, Florida, and recorded in Transcript Book 1, Page 5, of the public records of Broward County, Florida; Together with Lot 43, Less the east 15 feet, of AMENDED PLAT OF BLOCK 2, Eskilson Addition, A subdivision as recorded in Plat Book 7, Page 10, of the Public Records of Broward County, Florida.

A copy of the proposed request(s) is available for viewing in the Community Development Department, 100 West Dania Beach Blvd., Dania Beach, Florida between the hours of 8:00 a.m. and 4:00 p.m., Monday - Friday please call (954) 924-6805 x3643 for more information. Interested parties may appear at the public hearing and be heard with respect to the proposed petition.

In accordance with the Americans With Disabilities Act, persons needing assistance to participate in any of these proceedings should contact the City Clerk's office, 100 W Dania Beach Blvd, Dania Beach, FL 33004, (954) 924-6800 x3623, at least 48 hours prior to the meeting.

Please be advised that if a person decides to appeal any decision made by the Local Planning Agency, the Planning and Zoning Board or the City Commission with respect to any matter considered at this hearing, such person will need a verbatim record of the proceedings and for this purpose such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The city does not provide or prepare such record pursuant to fs

SUN SENTINEL PROOF

Customer: CITY OF DANIA (PARENT) Contact: DONNA H. KIRBY Phone: 9549218700
Ad Number: 14159402
Insert Dates: 05/03/2013

Section: CL Class: 720; 11720 PUBLIC HEARING NOTICES Size: 1 x 117.00
Printed By: CH15 Date: 04/26/2013
Price: 276.95

Signature of Approval: _____ Date: _____